



November 9, 2023

THIS MILESTONE PHASE 1 INSPECTION REPORT WAS PRODUCED FOR CAPRI ISLE GARDEN APARTMENTS NO. 2 CONDOMINIUM ASSOCIATION, INC. LOCATED AT 280 126TH AVE, TREASURE ISLAND, FL 33706.

## CAPRI ISLE GARDEN #2

MILESTONE PHASE 1 INSPECTION SURVEY



November 9, 2023

Ms. Antje Wortman  
Capri Isle Garden Apartments No. 2 Condominium Association, Inc.  
24701 US Hwy 19 N., Suite 102  
Clearwater, FL 33763

Re: Milestone Phase 1 Inspection Survey  
Capri Isle Garden Apartments No. 2  
280 126th Ave,  
Treasure Island, FL 33706

Dear Ms. Wortman,

In accordance with your request, we tasked engineer Andrew Schrader with performing a Phase 1 structural inspection of the building, including an inspection of load-bearing walls, primary structural members and primary structural systems. We visited the site on 03/21/2023, 04/06/2023, 06/19/2023, 7/11/2023, and 09/13/2023.

### **PROJECT BACKGROUND ON PHASE 1 INSPECTIONS**

Recon Response Engineering LLC ("RRE") prepared this report to provide the Association with a Phase 1 Milestone Inspection in accordance with Florida Senate Bill 4-D (SB4D). The purpose is to attest to the life safety and adequacy of the structural components of the building and, to the extent reasonably possible, determine the general structural condition of the building as it affects its safety. This includes a determination of any necessary maintenance, repair or replacement of any structural component of the building. This does not include making a determination if the condition of the building is in compliance with the Florida Building Code or the fire safety code.

This inspection requires a visual examination of habitable and non-habitable areas of the building, including its major structural components. It is a qualitative (non-quantitative) assessment of the building's structural condition, with a key goal to determine if substantial structural deterioration exists.

"Substantial structural deterioration" is defined in SB4 as substantial structural distress that negatively affects a building's general structural condition and integrity. The term does not include surface imperfections such as cracks, distortion, sagging, deflections, misalignment, signs of leakage, or peeling of finishes unless the inspector determines that such surface imperfections are a sign of substantial structural deterioration.



As stated in SB4D, if we find no signs of substantial structural deterioration to the building components under visual examination, then a Phase 2 inspection is not required. If, however, any substantial deterioration is identified during the Phase 1 inspection, then a Phase 2 inspection must be performed.

### **PROJECT BACKGROUND ON PHASE 2 INSPECTIONS**

The purpose of a Phase 2 inspection, if required, is to fully assess areas of structural distress in order to confirm that the building is structurally sound and safe for its intended use. Additionally, a Phase 2 inspection requires the inspector to recommend a program for fully assessing and repairing distressed and damaged portions of the building.

A Phase 2 inspection may involve destructive or non-destructive testing, and may be as extensive or as limited as necessary to fully assess areas of structural distress. When determining testing locations, the inspector must give preference to locations that are the least disruptive and most easily repairable while still being representative of the structure.

### **ONCE THE INSPECTION IS COMPLETED**

Following both the Phase 1 and Phase 2 inspection, the inspector must submit a sealed copy of the inspection report with a separate summary of, at a minimum, its material findings and recommendations. This information must be furnished by the inspector to both the condominium association and to the building official of the local government which has jurisdiction. This signed and sealed inspection report must meet all of the following criteria:

- 1) Indicate the manner and type of inspection forming the basis for the inspection report.
- 2) Identify any substantial structural deterioration, within a reasonable professional probability based on the scope of the inspection.
- 3) Describe the extent of such deterioration, and identify any recommended repairs for the observed deterioration.
- 4) State whether unsafe or dangerous conditions\*, as those terms are defined in the Florida Building Code, were observed.
- 5) Recommend any remedial or preventive repair for any items that are damaged but are not substantial structural deterioration.
- 6) Identify and describe any items requiring further inspection.



## **APPLICABLE DEFINITIONS FROM THE FLORIDA BUILDING CODE**

“Unsafe” is defined in the 2020 Florida Building Code, 7th Edition, as follows:

Buildings, structures or equipment that are unsanitary, or that are deficient due to inadequate means of egress facilities, inadequate light and ventilation, or that constitute a fire hazard, or in which the structure or individual structural members meet the definition of “Dangerous,” or that are otherwise dangerous to human life or the public welfare, or that involve illegal or improper occupancy or inadequate maintenance shall be deemed unsafe. A vacant structure that is not secured against entry shall be deemed unsafe.

“Dangerous” is defined in the 2020 Florida Building Code, 7th Edition, as follows:

Any building, structure or portion thereof that meets any of the conditions described below shall be deemed dangerous:

1. The building or structure has collapsed, has partially collapsed, has moved off its foundation, or lacks the necessary support of the ground.
2. There exists a significant risk of collapse, detachment or dislodgement of any portion, member, appurtenance or ornamentation of the building or structure under service loads.

Note that the Florida Building Code has a specific definition for “substantial structural damage” which is separate and distinct from the definition of “substantial structural deterioration” as used in SB4. Since this report is predicated on the specific requirements of SB4, the criterion for substantial structural deterioration is used in this report as defined in SB4.

## **WHAT THE ASSOCIATION MUST DO WITH THIS INFORMATION**

- 1) The Association must distribute a copy of the inspector-prepared summary of the inspection report to each condominium unit owner or cooperative unit owner, regardless of the findings or recommendations in this report, by United States mail or personal delivery and by electronic transmission to unit owners who previously consented to receiving notice by electronic transmission.
- 2) The Association must post a copy of the inspector-prepared summary of the inspection report in a conspicuous place on the condominium or cooperative property.
- 3) The Association must publish the full report and inspector-prepared summary on the Association’s website, if the association is required to have a website.
- 4) We also recommend consultation with the Association’s legal counsel to determine what other actions (if any) should be taken.

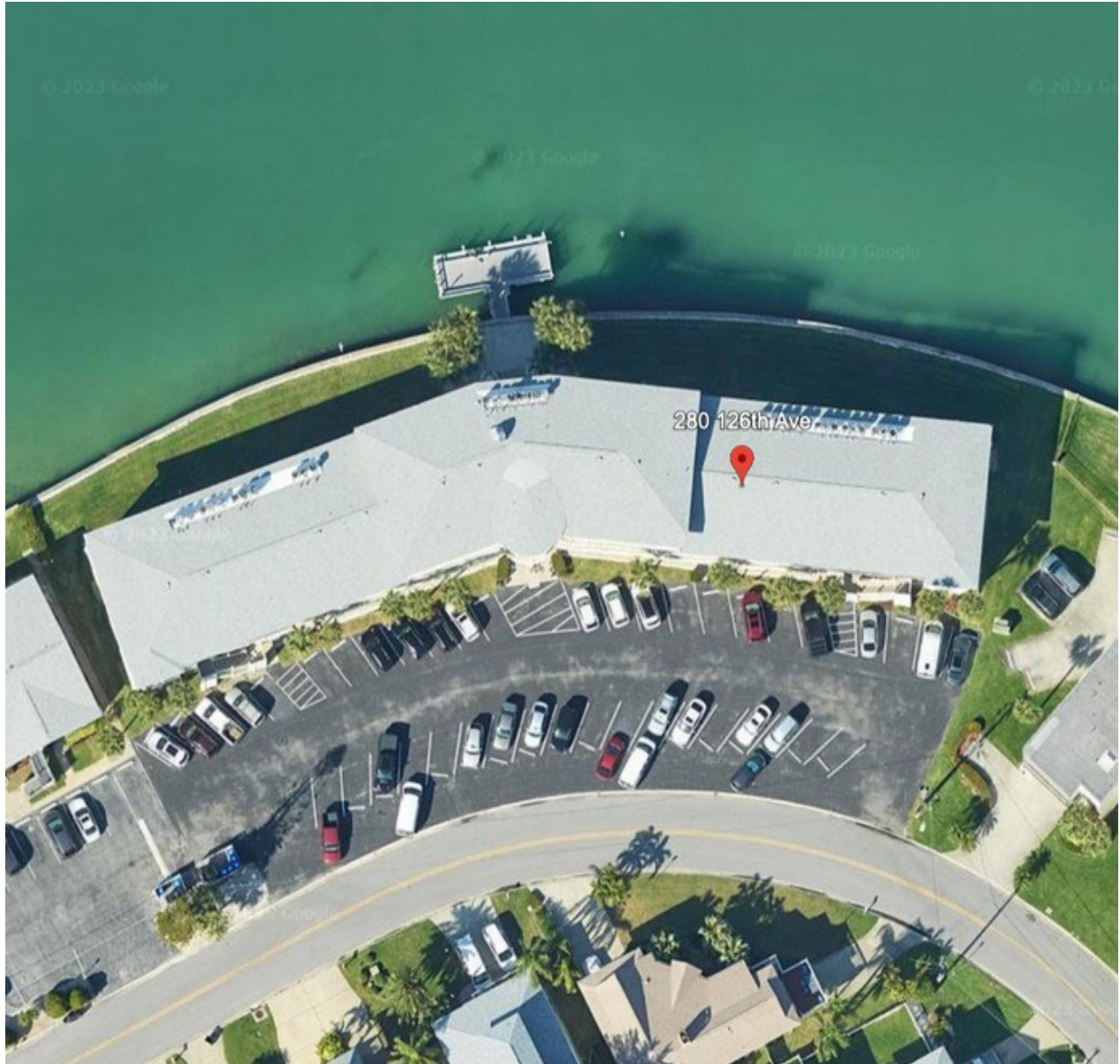


### **DOCUMENTS REVIEWED**

- 1) Building and Roofing Oral History as provided by Association Board of Directors
- 2) Pinellas County Property Appraiser Records

### **BUILDING INFORMATION**

- The structure located at Capri Isle Garden Apartments No. 2 Condominium Association, Inc. consists of thirty-five (35) units.
- The building is four (4) stories tall, and the structural components consist of conventionally reinforced concrete beams, slabs and columns with infill Concrete Masonry Unit (CMU) block walls.
- The main roof system is composed of asphalt shingles.
- The structure was built in 1968 according to Pinellas County Property Appraiser records.



**Overhead Plan View of Capri Isle #2**

Elevation views of the building are provided in a following section.



## INSPECTOR CREDENTIALS

Andrew Schrader is a Florida-licensed Professional Engineer (PE) and Certified General Contractor (CGC).

He is also board-qualified as a Special Inspector of Threshold Buildings (SI) by the Florida Board of Professional Engineers.

In addition, Mr. Schrader holds the following credentials:

- ◆ **International Code Council (ICC)**
  - Special Inspector, Soils
  - Special Inspector, Structural Steel and Bolting
  - Special Inspector, Structural Masonry
  - Residential Mechanical Inspector
  - Residential Electrical Inspector
  - Property Maintenance and Housing Inspector
  - ADA Accessibility and Plans Review
- ◆ **American Concrete Institute (ACI)**
  - Special Inspector, Concrete Construction
  - Concrete Field Testing Technician - Grade I
- ◆ **Association for Materials Protection and Performance (AMPP) / National Association of Corrosion Engineers (NACE)**
  - Basic Coatings Inspector / CIP Level 1
- ◆ **State of Florida**
  - Licensed Asbestos Consultant
  - Certified Continuing Education Instructor, Florida Department of Business and Professional Regulation (DBPR)
  - Certified Continuing Education Instructor, Florida Division of State Fire Marshal
- ◆ **U.S. Army Corps of Engineers**
  - Urban Search and Rescue (US&R) Structures Specialist (StS-1)
- ◆ **U.S. Department of Transportation, Federal Aviation Administration (FAA)**
  - Commercial Pilot (Instrument-Rated)
  - Remote Pilot (Small Unmanned Aircraft Systems)



## **MILESTONE PHASE 1 INSPECTION RESULTS: CAPRI ISLE GARDEN APARTMENTS NO. 2**

**Required Item 1 of 6:** *Indicate the manner and type of inspection forming the basis for the inspection report.*

This Phase 1 milestone inspection was performed using visual observation of accessible locations. We walked the property on foot including the ground-floor perimeter, sloped roofs, walkways, stairs, and approximately 25% of the unit interiors.

**Required Item 2 of 6:** *Identify any substantial structural deterioration, within a reasonable professional probability based on the scope of the inspection.*

No substantial structural deterioration was observed.

**Required Item 3 of 6:** *Describe the extent of such deterioration and identify any recommended repairs for the observed deterioration.*

Not applicable, as no substantial deterioration was observed.

**Required Item 4 of 6:** *State whether unsafe or dangerous conditions, as those terms are defined in the Florida Building Code, were observed.*

No unsafe or dangerous conditions were observed.

**Required Item 5 of 6:** *Recommend any remedial or preventive repair for any items that are damaged but are not substantial structural deterioration.*

1) Continue with exterior painting of the building on a cycle not to exceed seven (7) years, in order to protect the building from the effects of salt air and chlorides.

2) As a preventative maintenance item, remove and replace all sealant at the main roof counter-flashing, where the exterior walls of the building come down to meet the asphalt shingles. Window perimeter sealants in this location are also deteriorated and should be replaced.





**Required Item 6 of 6:** *Identify and describe any items requiring further inspection.*

1) Due to the ongoing corrosion deterioration commonly observed at buildings of this age and coastal environmental exposure, we would recommend re-inspection by an Engineer within five (5) years of the date of this report. This does not need to be a milestone inspection but can be a visual Existing Condition Survey.

Please note that this section is a summary. Refer to our photo appendix with captioned photos for additional information, where appropriate.



**Exterior Elevation View. South Side**



**Exterior Elevation View. East Side. South Corner.**



**Exterior Elevation View. North Side.**



**Exterior Elevation View. North Side.**



**Exterior Elevation View. North Side.**



**Exterior Elevation View. West Side.**



## SIGNATURE PAGE

Milestone Phase 1 Survey  
Capri Isle Garden Apartments No. 2  
Condominium Association, Inc.  
280 126th Ave,  
Treasure Island, FL  
33706

A handwritten signature in blue ink that reads "Andy Schrader".

Andrew Schrader, PE  
Florida License #72231  
Certificate of Authorization #31955  
Recon Response Engineering, LLC  
Toll-Free Nationwide: (844)-44-RECON  
info@reconresponse.com

ANDREW SCHRADER, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO. 72231. THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ANDREW SCHRADER, PE ON 11/09/2023 USING AN SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

### Limitations:

**This report makes no warranties or guarantees, expressed or implied, in regards to building construction at the site. The property was not inspected for hidden conditions.**

**Our opinions noted within this report are based on the findings as well as our professional experience. We accept no responsibility for interpretations or actions based on this report made by others.**

**The findings, results, and conclusions listed herein are only representative of conditions at the time of our review and do not represent conditions at other times. This report is intended for use by you and your assigned representatives. Its data and content should not be used or relied upon by other parties without our prior written authorization. We reserve the right to update our opinions if and when new information becomes available.**

Photo appendix begins on following page.



# Capri Isle Garden Apartments No. 2

September 13, 2023



Photos taken during site visit performed by Professional Engineer Andrew Schrader and Engineering Technician Ricky Renner.



*Capri Isle Garden Apartments No. 2, front elevation.*



*Capri Isle Garden Apartments No. 2, front elevation.*



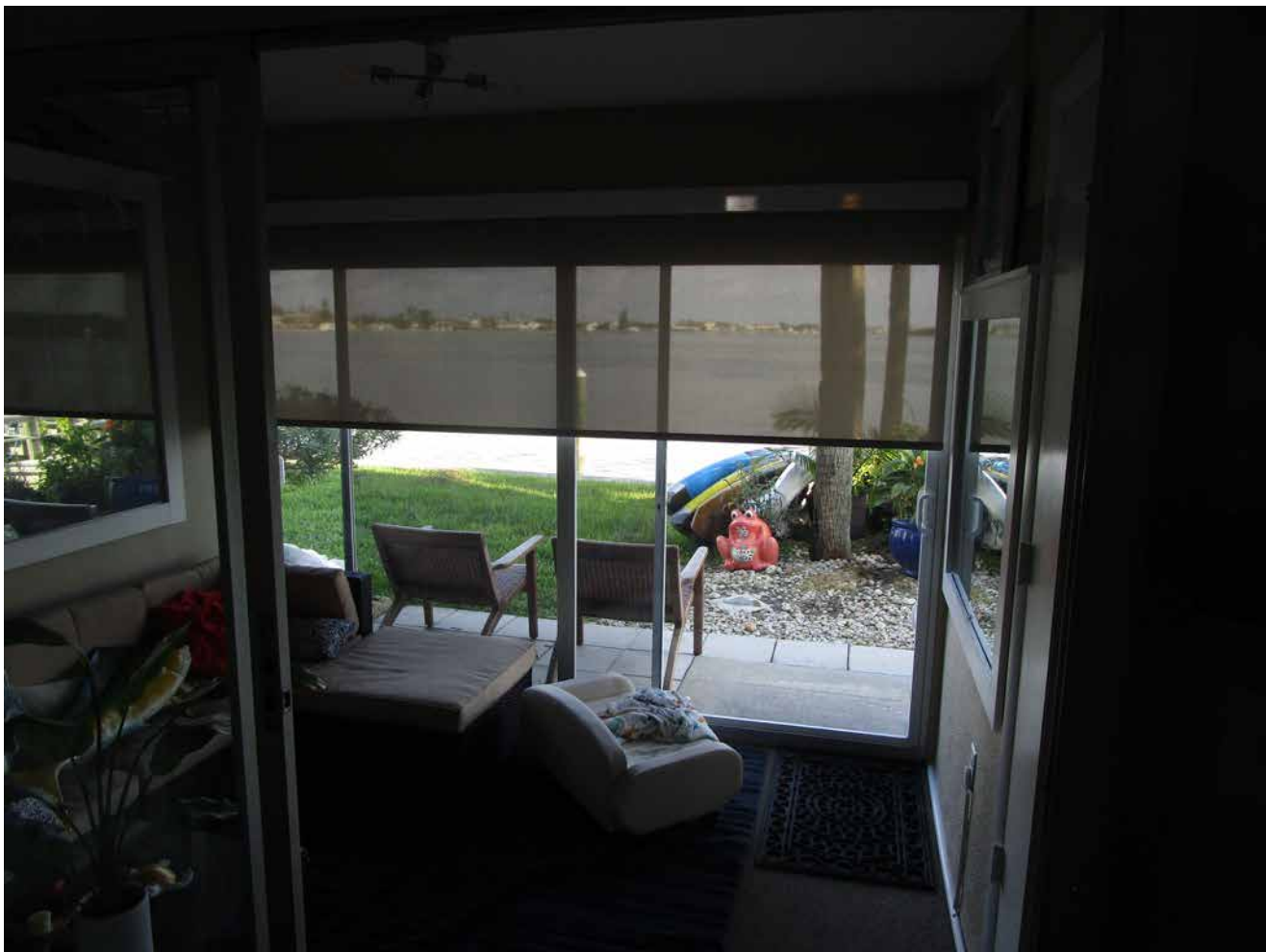
*Capri Isle Garden Apartments No. 2. Unit 109*



*Capri Isle Garden Apartments No. 2. ground floor walkway.*



*Capri Isle Garden Apartments No. 2, Unit 105.*



Capri Isle Garden Apartments No. 2. Unit 105



*Capri Isle Garden Apartments No. 2, Unit 105.*



*Capri Isle Garden Apartments No. 2. Unit 105. Minor cracking in interior ceilings observed, which is typical for this construction. This is not a structural issue and no action is required.*





*Capri Isle Garden Apartments No. 2. Unit 105. Minor cracking in interior ceilings observed, which is typical for this construction. This is not a structural issue and no action is required.*



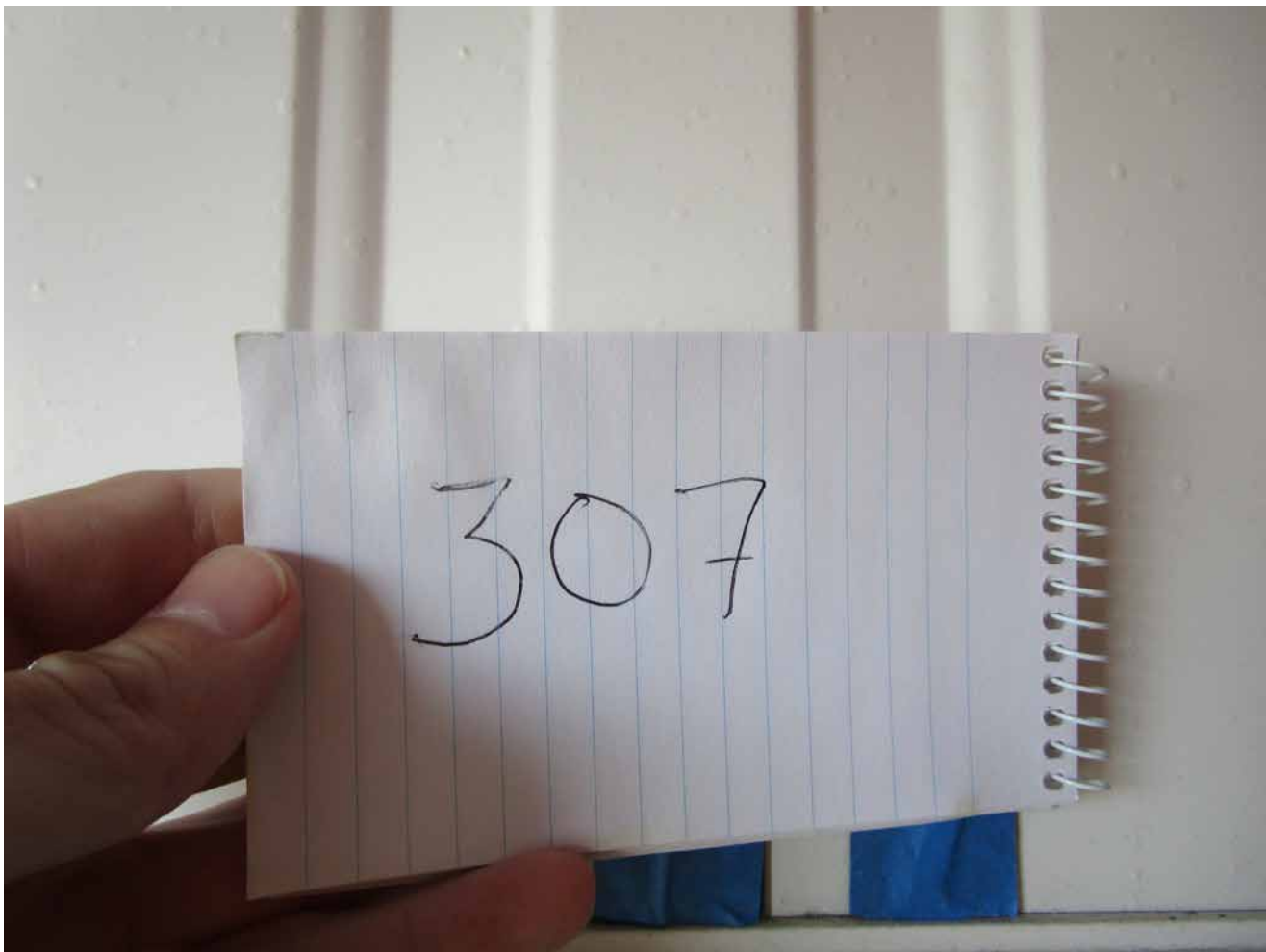
*Capri Isle Garden Apartments No. 2, Unit 103.*



*Capri Isle Garden Apartments No. 2. Unit 202.*



*Capri Isle Garden Apartments No. 2. Unit 310.*



*Capri Isle Garden Apartments No. 2. Unit 307.*



*Capri Isle Garden Apartments No. 2. Unit 304.*



*Capri Isle Garden Apartments No. 2. Unit 205.*



*Capri Isle Garden Apartments No. 2, Unit 401.*





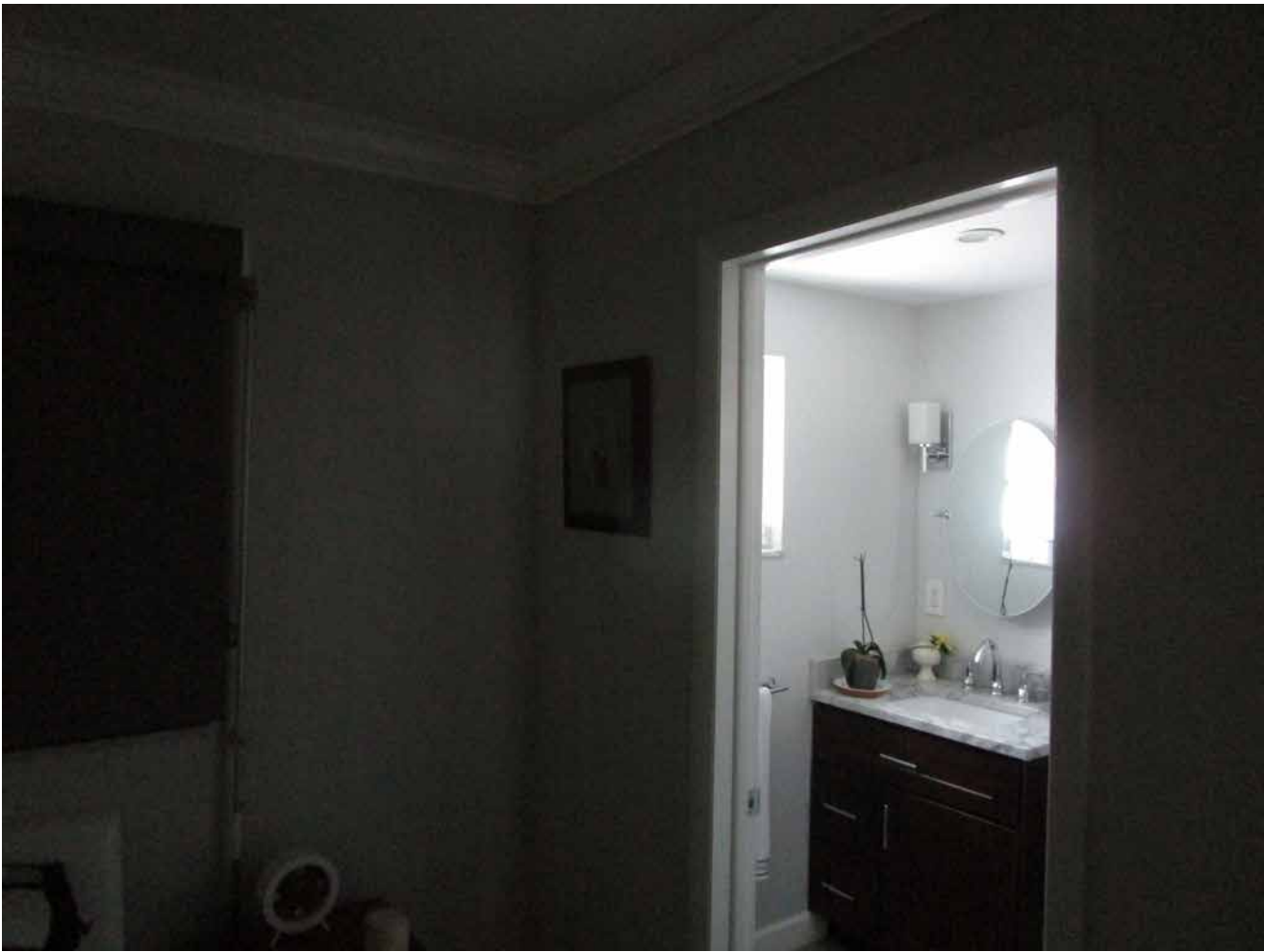
*Capri Isle Garden Apartments No. 2. Unit 401. Minor cracking in interior ceilings observed, which is typical for this construction. This is not a structural issue and no action is required.*



*Capri Isle Garden Apartments No. 2. Unit 401. Minor cracking in interior ceilings observed, which is typical for this construction. This is not a structural issue and no action is required.*



*Capri Isle Garden Apartments No. 2. Unit 401. Minor cracking in interior ceilings observed, which is typical for this construction. This is not a structural issue and no action is required.*



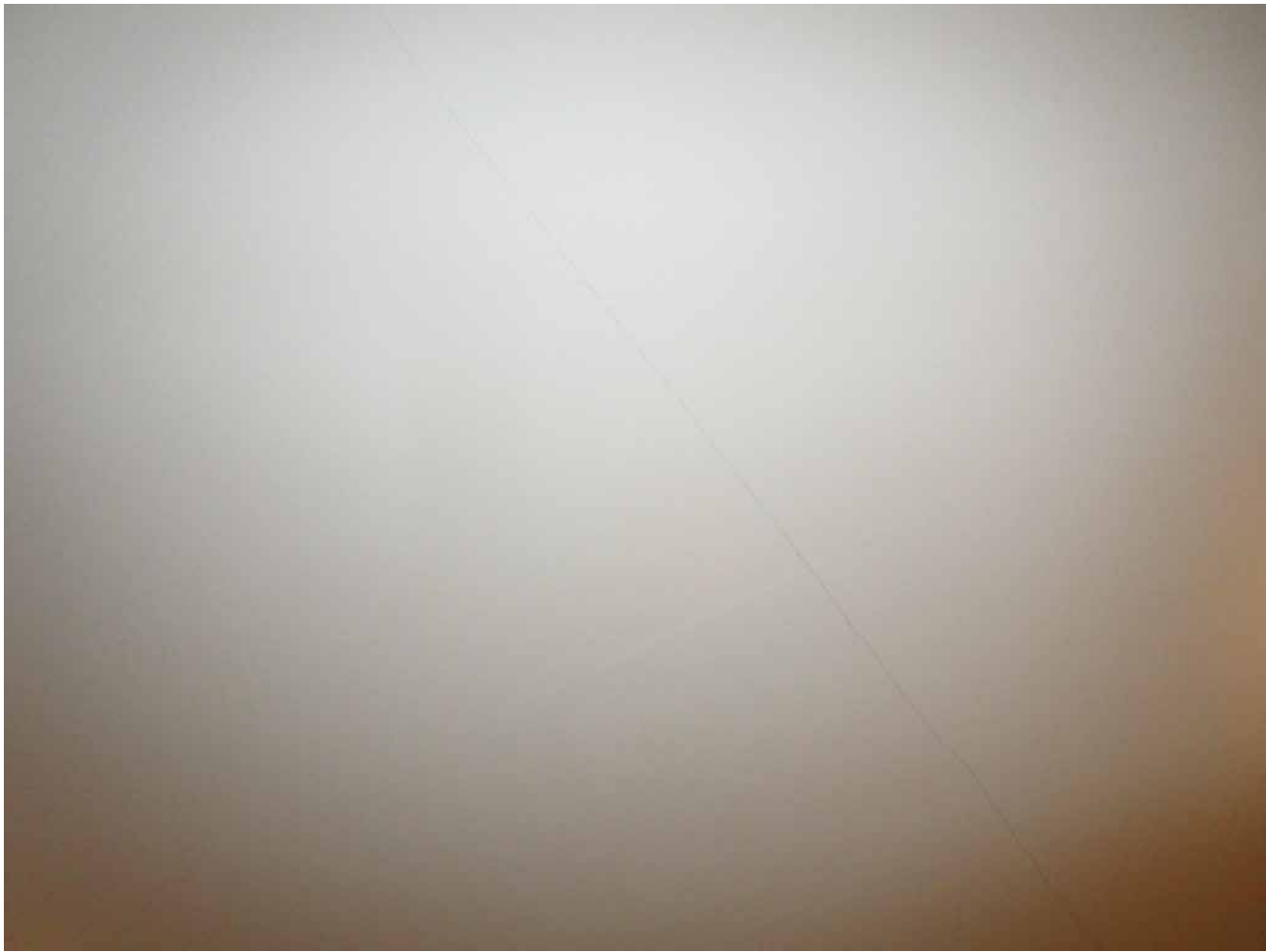
*Capri Isle Garden Apartments No. 2, Unit 401.*



*Capri Isle Garden Apartments No. 2, Unit 401. Minor cracking in crown moulding at ceiling. This is a joint where two pieces are joined together. Not a structural issue--no action required.*



*Capri Isle Garden Apartments No. 2, Unit 401. Minor cracking in crown moulding at ceiling. This is a joint where two pieces are joined together. Not a structural issue--no action required.*



*Capri Isle Garden Apartments No. 2. Unit 401. Minor cracking in ceiling observed--not a structural issue and no action is required.*



*Capri Isle Garden Apartments No. 2. Unit 401. Minor cracking in ceiling observed--not a structural issue and no action is required.*





*Capri Isle Garden Apartments No. 2. Unit 402.*



*Capri Isle Garden Apartments No. 2, Unit 402.*



*Capri Isle Garden Apartments No. 2. Roof shingles are in good condition.*



*Capri Isle Garden Apartments No. 2.*



*Capri Isle Garden Apartments No. 2. Roof is in good condition. No significant issues observed.*



*Capri Isle Garden Apartments No. 2.*



*Capri Isle Garden Apartments No. 2.*



*Capri Isle Garden Apartments No. 2.*





*Capri Isle Garden Apartments No. 2. Air conditioner condensing units are properly secured to rooftop equipment rack.*



*Capri Isle Garden Apartments No. 2. Sealants at top of counterflashing on roof level are deteriorating and reaching the end of their useful life. Recommend removal and replacement of these sealants.*



*Capri Isle Garden Apartments No. 2. Window perimeter sealants at roof level are deteriorating and reaching the end of their useful life. Recommend removal and replacement of these sealants.*



*Capri Isle Garden Apartments No. 2. Window perimeter sealants at roof level are deteriorating and reaching the end of their useful life. Recommend removal and replacement of these sealants.*



*Capri Isle Garden Apartments No. 2. Window perimeter sealants at roof level are deteriorating and reaching the end of their useful life. Recommend removal and replacement of these sealants.*



*Capri Isle Garden Apartments No. 2 , typical walkway area.*



*Capri Isle Garden Apartments No. 2 , typical roof area.*



*Capri Isle Garden Apartments No. 2 , typical roof area.*





*Capri Isle Garden Apartments No. 2.*



*Capri Isle Garden Apartments No. 2. Condensing units are properly secured to roof equipment racks.*



*Capri Isle Garden Apartments No. 2.*



*Capri Isle Garden Apartments No. 2.*



*Capri Isle Garden Apartments No. 2. Typical deteriorated sealants at rooftop counter flashing. Recommend replacement as preventative maintenance.*



*Capri Isle Garden Apartments No. 2. Typical deteriorated sealants at rooftop counter flashing. Recommend replacement as preventative maintenance.*



*Capri Isle Garden Apartments No. 2.*



*Capri Isle Garden Apartments No. 2. Third-floor hallway.*





*Capri Isle Garden Apartments No. 2. Typical exterior stairs.*



*Capri Isle Garden Apartments No. 2. Third-floor hallway.*



*Capri Isle Garden Apartments No. 2. Second floor hallway*



*Capri Isle Garden Apartments No. 2. First floor hallway.*



*Capri Isle Garden Apartments No. 2. Exterior Elevation. West Corner. South Side.*



*Capri Isle Garden Apartments No. 2. Exterior Elevation. West Elevation.*



*Capri Isle Garden Apartments No. 2. Exterior Elevation. North side.*



*Capri Isle Garden Apartments No. 2. Exterior Elevation. North Side.*





*Capri Isle Garden Apartments No. 2. Exterior Elevation. North Side.*



*Capri Isle Garden Apartments No. 2. Exterior Elevation, East side.*



*Capri Isle Garden Apartments No. 2. Exterior Elevation, East side.*



*Capri Isle Garden Apartments No. 2. Front (South) elevation.*



*Capri Isle Garden Apartments No. 2 , Front (South) elevation.*

